

Sun Peak Amended and Restated Design Guidelines

November 2024

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I. INTRODUCTION

A. Overview

The design guidelines for Sun Peak are based upon the premise that land development should combine cohesively with the natural surroundings while promoting a quality lifestyle. New development shall be carefully related to the environment as part of the region's natural surroundings, providing for continuity through architecture and site design.

Materials and designs shall reinforce existing forms creating a harmonious community. A strong architectural statement can be made if new designs reflect historical ones or are historical derivatives. However, in a mountainous setting such as Sun Peak, the architectural statement should also respond to the expectations of its potential users. In this instance, a rustic, mountain- contemporary flavor can be incorporated into the overall theme. Materials such as wood, glass, steel and stone are appropriate for such a setting and assist in providing continuity to the finished product.

Sun Peak is an area of striking and unique natural beauty. The neighborhoods proposed for the terrain are intended to blend with and become a part of this beauty. These design guidelines are meant to establish an overall character and atmosphere for the property that will accomplish this goal. Further, it is intended that these guidelines will create interest and excite individual property owners in their design efforts, resulting in the creation of a special and unique development.

The guidelines will be used in conjunction with the Sun Peak CC&R's and Supplemental CC&R's for the individual neighborhoods., along with a formal architectural review process. The guidelines are not intended to serve as a "building code" but are provided as a reference tool to assist lot owners, architects and builders in preparation of designs that will meet with SPDRC for review and approval. While these guidelines will define acceptable design parameters for the project, the intent is to allow some flexibility within those parameters for design creativity.

B. Guideline Format

These guidelines will be used in conjunction with a formal design review process. The formal design review involves a process whereby developers or individual lot owners submit all proposals and drawings to the Sun Peak Design Review Committee (SPDRC) for review, comment and approval prior to submittal to Summit County for issuance of a building permit. The SPDRC will be composed of committee members chosen by the Sun Peak Board of Trustees. The SPDRC will meet once monthly, or as otherwise specified, to review construction proposals and plans in order to ensure at an early stage in the project design development that all proposals are in substantial compliance with requirements set forth in the Sun Peak Architectural Design Guidelines. These meetings are open to all homeowners and provide an opportunity for association members to attend, observe, and participate in the review of proposed designs, alterations, or improvements to properties within the community. The DRC committee reserves the right to meeting privately or move to a closed meeting when necessary.

When considering a proposed project or single home, the SPDRC must not only determine if the project conforms with the general architectural guidelines identified herein, but also if the project is compatible with the overall

architectural theme of Sun Peak. Nearby existing structures do not set a precedent for compliance with then current architectural guidelines. A project or home (single structure) must be reviewed, and approved in writing, by the SPDRC prior to its final review by the Summit County Planning Department.

If the SPDRC denies or makes a negative recommendation on any project based on architectural, site development, or landscaping characteristics; the project must be modified to conform more closely to these guidelines. SPDRC shall not unreasonably withhold its approval.

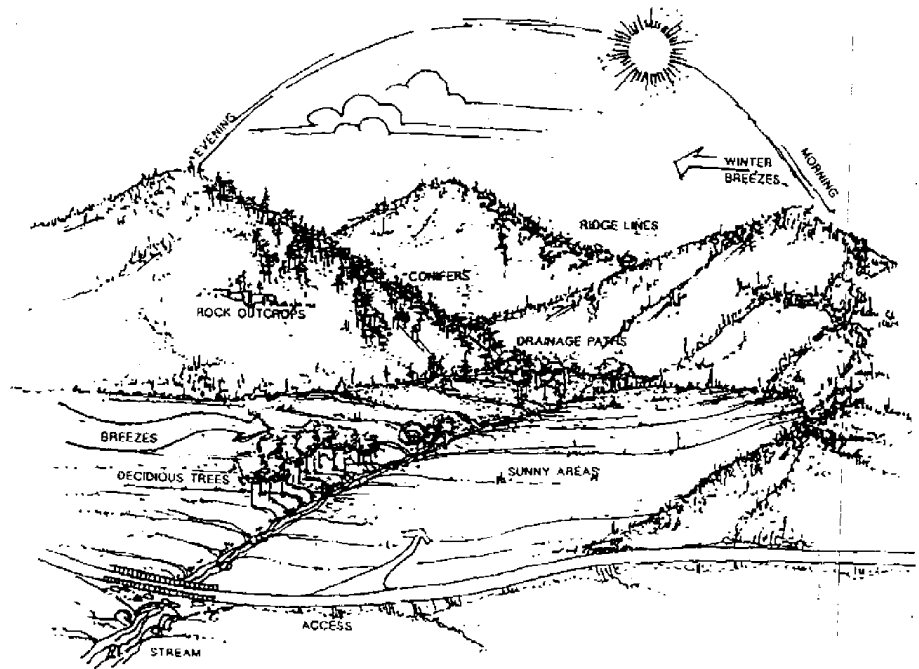
The Architectural Guidelines are, therefore, provided as a reference tool to assist property owners, architects and builders in preparation of designs that will meet with SPDRC approval. In order to achieve a unified design plan in which all elements relate functionally and aesthetically, attention to detail is necessary. Success in achieving and maintaining a unified, quality image is dependent upon the consistent application of uniform design and performance standards to all the elements of site development.

As designs for development begin with site plans, these guidelines will begin by addressing site characteristics and aspects of site design that are of particular importance in maintaining and enhancing the aesthetic quality of Sun Peak. Architectural forms will then be discussed. Site design and architecture are necessarily inter-related. Consequently, discussions of the site design process may overlap with discussions of architectural features. Graphic examples of site and building features accompany the text to assist the reader in visualization. These illustrations are not meant to dictate styles, but rather to guide the property owners and their consultants toward design decisions that will preserve and enhance the aesthetic quality of Sun Peak.

II. SITE EVALUATION

A. General Site Characteristics

The Sun Peak project area lies along the east facing Wasatch Mountain slopes bordering the Snyderville Basin in Summit County, Utah. The site is characterized by scenic mountain peaks, ridges, drainages, streams, wetlands, open meadows and dense stands of scrub oak, maple, pines, and aspen. The site offers tremendous views to the north and east and views toward Park City and Deer Valley to the south. The quality and rural mountainous character of the Sun Peak environment are its most important amenities and make it particularly attractive for residential development. All development, therefore, must be carefully planned and implemented to mitigate impacts to slopes and restore disturbed areas.



B. Topography

The Sun Peak project consists of approximately 750 acres of land on the east facing side of the Wasatch Mountains. Elevations on the site range from approximately 6,600 feet at the project entry to 7,150 feet at the uppermost lots. Percentages of slope vary greatly over the site with fairly flat areas located on the lower portions where the office park and the smaller single-family lots are proposed. Larger home sites further up the mountain, although steeper, offer tremendous views of the Basin and Uinta Mountains.

C. Climate

The project area experiences the snow quantities and temperatures associated with a high Rocky Mountain environment. Snow quantities average 300 inches annually and temperatures fall below 0° Fahrenheit approximately 20 days a winter. Snow disappears in early May and temperatures throughout the summer and fall are ideal, ranging from a low of 70° to a high of 85° on average. Rainfall averages 15 to 20 inches annually with most precipitation occurring in the spring.

D. Vegetation

The majority of the Sun Peak property is covered with scrub oak, mahogany and maple on the southwest to southeast facing slopes. Many of the slopes, especially those at the lower portion of the site are more open and

predominantly covered with sagebrush and native grasses. Revegetation of these slopes is difficult due to minimal topsoil and intense exposure to sun. Water will be necessary to ensure that the proposed plant material survives. Many of the north to northeast facing slopes are covered by aspen. The plant communities supply food and cover for a wide variety of wildlife. The vegetation also offers a certain amount of visual absorption for development. The proposed plan provides for preserving large areas of the site as open space to ensure preservation of the rural character of the development and to protect wildlife habitat. Areas designated as open space shall not be disturbed during construction. Any disturbance occurring due to construction will be mitigated by revegetation with plant materials indigenous to the site.

III. SITE DESIGN PROCESS

A. Site Analysis

Naturally, the first step in site design is a careful analysis of a given lot to identify its natural features, constraints and opportunities. This analysis process must, at a minimum, include a careful examination of the following site conditions:

- Existing vegetation with recommendations for preservation and removal;
- Points of access and recommended driveway or entrance alignments;
- Hydrology and water resources;
- Wind and storm patterns;
- Existing and potential views;
- Existing landforms and grades;
- Building envelopes for construction;
- Location of existing utilities;
- Relationship to adjacent land uses; and
- Sunlight/solar exposure and light patterns.

This site analysis is meant to serve as a basis for decision-making during the site design process. In preparing designs, the intent is to preserve and protect the environmental and scenic quality of a site and respect the integrity of adjacent development and land uses. Any improvements on the recommendations presented in these guidelines as well as additional, in-depth research of factors affecting the physical planning and development of any site are encouraged. The site evaluation shall make use of relevant consultants, architects, civil engineers, soils engineers, landscape architects, geologists and other specialists as required. It shall draw upon topographic surveys, site photographs, soils reports, and any other documentation helpful in forming an accurate picture of the site's condition. Additional specific design expectations are outlined below.

B. Existing Land Forms

Each property has its own unique natural features; i.e., significant vegetation, drainage ways, large boulders, rocky outcrops, steep slopes. In general, these features need to be considered and analyzed prior to the development of a property. In some cases, these conditions present opportunities that can benefit a development if preserved or properly utilized. In other cases, natural features may present constraints to development that will require mitigation to minimize potential impacts. It is the task of each developer, architect, builder, property owner and their consultants to arrive at a site design that integrates and preserves these features.

C. Existing Site Vegetation

Aesthetically speaking, the health and beauty of Sun Peak is largely dependent upon the preservation of existing vegetation and the restoration of disturbed areas. In preparation of the site development plans, care has been taken to preserve major vegetative masses. Homeowners are encouraged to integrate and preserve as much existing vegetation as possible. "Clear cutting" the building area is not necessary and will be prohibited. Revegetation of all disturbed areas will be required. Relocation outside the construction envelope of plant material to be removed is

encouraged. Use of vegetation indigenous to the area for repairs and landscaping is also encouraged.

In the preparation of a final site plan, the property owner may wish to locate a site feature such as a gazebo, swimming pool or tennis court. These items are subject to SPDRC approval. Significant vegetation removal for any given property shall be minimized and must be coordinated with the SPDRC.

D. View Corridors

In developing the site and building designs, the following must be considered:

- Views from the site.
- Views of the site from surrounding property.
- Views through the site to features beyond.
- Ridge Lines

As far as possible natural views shall be preserved and protected. Buildings and other man-made features as well as new vegetation planting shall not unnecessarily obstruct the natural views from other properties. Unsightly views such as hillside scarring, exposed maintenance or service areas and open rubbish heaps will not be allowed. Preservation of existing mature vegetation close to the buildings will allow select views through the trees while still providing natural screening and a degree of privacy for the buildings themselves.

E. Location of Construction

As previously mentioned, within each property an area shall be designated for construction with limits of disturbance. All structural improvements must remain within the building envelope and not encroach into any of the setbacks. Within these limits, specific building areas shall be located. These building areas shall be selected based on the ability to integrate natural features into new development with the least detriment to the site aesthetics during the construction phase. Specific lots may have height restrictions to allow for views from neighboring lots. Location of adjacent or nearby existing residences will not set a precedence of setbacks or height restrictions.

F. Grading

To preserve existing land-forms and site vegetation, grading plans for each lot shall be sensitive, where practical, to the natural plant massing and features of the site. Grading and construction practices which disturb these natural features promote erosion and extensive revegetation. All grading should be approved by Summit County Engineering and comply with Summit County Erosion Control and Storm Water Ordinances.

Buildings and driveways shall be carefully fitted to the site. Every effort shall be made to minimize grading and excavation and to contain construction within fixed limits including materials storage and parking of construction vehicles on one side of the street.

To prevent erosion and maintain the essential quality of the site, the following construction practices are expected:

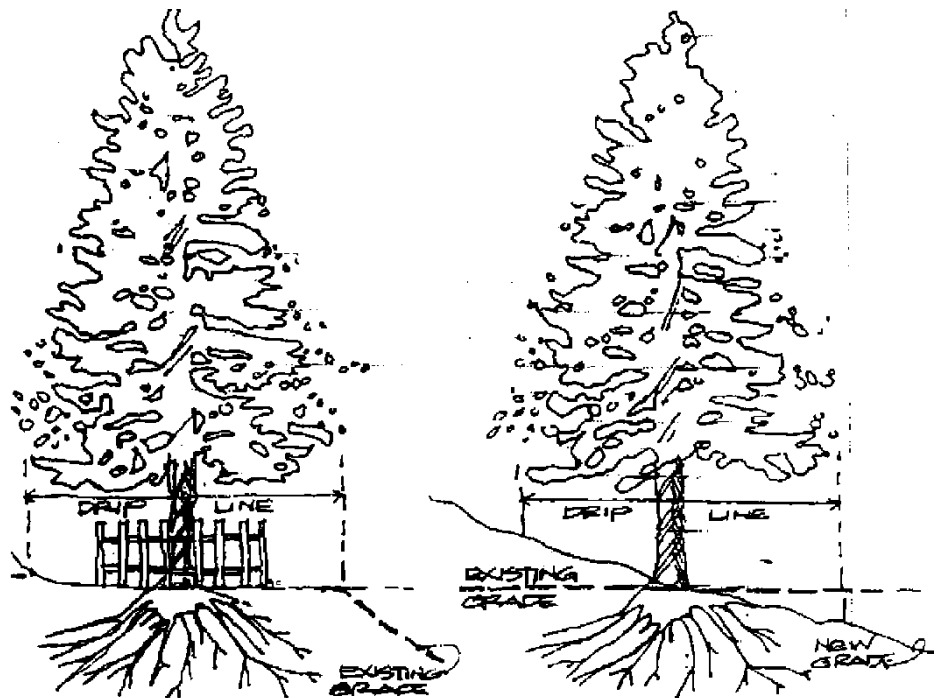
- Construction limits shall be specified, and stockpiling, equipment, traffic and parking shall be confined within.
- Limits of disturbance shall be identified on the property site plan and fenced in the field. If the building site is adjacent to Sun Peak Open Space, LOD fence shall be installed to prevent encroachment or disturbance into the

open space.

- Trees within the construction zone that are to be preserved shall be fenced off to protect them from injury or removal, where tree sizes and slopes permit, and stockpiled in accordance with established nursery practices for relocation on the site following construction. Trees shall also be protected from grade changes within their drip lines. As depicted below, changes in grade have respected the tree's drip line in the acceptable example but in the unacceptable example, grades have been changed within the tree's drip line zone.
- Cuts and fills, when required for roads, driveway and pathway construction, shall conform to Summit County Engineering standards and practices with naturally rounded tops and toes of slopes. Revegetation is required on all cuts and fill slopes.
- During and after construction, Summit County's Storm Water and Erosion Control practices must be implemented and followed.
- Temporary stockpiles of topsoil must be stabilized either by mulching or covering.
- Temporary runoff channels must be built to drain construction zones. In areas draining two acres or less, channels must have silt screens installed at appropriate locations. Silt screens shall consist of plastic fabric stretched across and anchored to the bottom of the channels with hay bales placed on the upstream side of the fabric. Where watershed above the site exceeds two acres, temporary earthen berms must be used in lieu of silt screens
- All storm drain inlet structures must be protected by a filter berm until the area is stabilized with vegetation or the base course of pavement is installed.
- All embankments constructed as part of cut/fill operations will be seeded and mulched as soon as final grading has been completed.
- All home and building site areas must be seeded and mulched as soon as final grading has been completed.

G. Drainage

Each property has its own natural drainage pattern resulting from its topography and vegetation. Whenever possible, this surface drainage pattern shall be preserved preferably using surface systems such as swales, culverts and retention basins. Where closed under-ground systems are necessary, release points must be designed to preclude erosion. Drainage impacts on surrounding property must be minimized and negative impacts must be mitigated. All drainage swales must be either mulched and planted or stabilized by other means immediately following construction.



H. Paved Surfaces

All paved surfaces in Sun Peak shall be of a scale and character suitable to the surrounding environment, responding to climate, terrain, and the palette of natural materials and colors existing on the site. Aesthetic and functional considerations shall be employed in the choice of materials for paved areas.

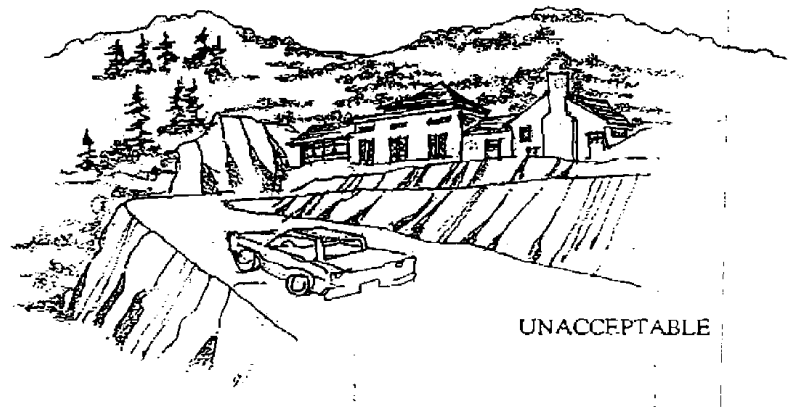
Acceptable materials for private driveways and other vehicular traffic, include asphalt, concrete with 2% color to prevent starkness, and pre-cast concrete pavers. In service and utility areas and for pedestrian trails that are away from main vehicular traffic, asphalt, decomposed granite and crushed stone with cement treatment will be acceptable subject to review by the SPDRC.



I. Gates and Entrances

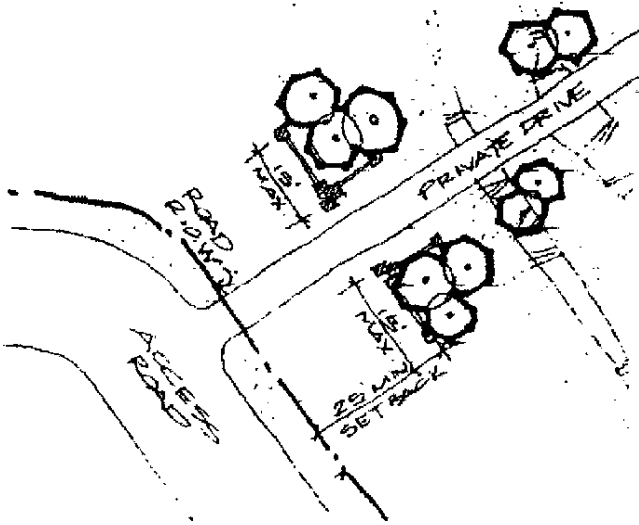
When designed properly, gateways and entrances contribute a great deal to establishing the character and theme of the development. Development driveways, where authorized by the CC&Rs, may include private entrance gates and landscaping in keeping with the natural environment. The following are guidelines for the construction of entrance gates:

- Gates shall not exceed 6 feet in height and 15 feet in length on each side to road centerline or 30 feet wide maximum.
- Gates shall be set back 25 feet from property lines.
- Materials required include natural stone, wood, or concrete for supports and iron or wood for gates.
- Minimal diffused lighting of the project name shall be used and must be Dark Sky Compliant.
- Mechanical gates are permitted but shall be of wood, wrought iron or other approved material.
- No sentry or barrier gates (i.e., gates with mechanical arms) will be allowed except in parking structures.
- Shiny aluminum, chain link or other shiny fencing materials are not permitted.



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- It's recommended that all gates be reviewed and approved by the Park City Fire District.



J. Walls and Fences

PERIMETER AND/OR BOUNDARY FENCING IS NOT ALLOWED . Any proposed fences and walls must be in compliance with the appropriate CC&Rs, specific to the neighborhood. The placement of walls and fences shall respect existing land-forms and pedestrian access, follow existing contour vegetation, and integrate with existing structural massing. Fence and wall designs shall harmonize with the site and buildings in both scale and appearance. No walls or fences, whether adjacent to buildings or separated from them, shall exceed six feet in height. Fencing shall be low and unobtrusive, except in the case of walls and fences to screen service areas to provide privacy. Walls and fences must attach to the home and compliment materials and colors. The designs for such walls and fences are subject to review by the SPDRC. Acceptable materials for walls and fences include stone, stone-faced concrete and wood. Walls and fences used to screen utility and maintenance structures, play areas, storage, parking or other features shall match the exterior finish of any structure with which they are in contact. Chain link fences are not permitted. Designs for walls and fences are subject to review and approval by the SPDRC.

K. Landscape Structures and Site Furnishings

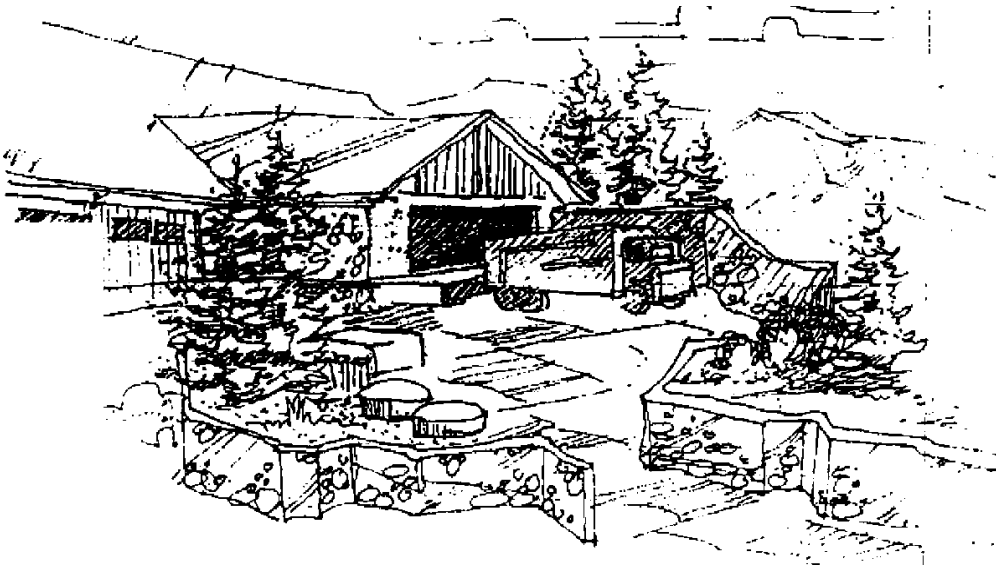
The development of outdoor spaces and landscaping often includes outdoor structures and site furnishings (decks, gazebos, benches, playground equipment, fire pits, drinking fountains, trash receptacles, kiosks). These elements shall be designed to work as extensions of the architecture and the spaces rather than separate items. Every effort shall be made to conform to the common site character established for the development of the main public spaces. Landscape structures and site furnishings, as defined above shall be allowed on a case-by-case basis by the SPDRC based on the impact to view sheds, adjoining properties and public areas.

Site furnishings and landscaping are the elements of Sun Peak which serve to reinforce design character, facilitate pedestrian use, and enliven and add interest to the outdoor spaces. In selecting, placing, and maintaining landscape structures and site furnishings, the general principle to follow is that these structures and furnishings contribute positively to unifying and reinforcing the image of Sun Peak as a whole. All site elements shall be components in a well-coordinated system of site furnishings applied uniformly throughout Sun Peak rather than developed as incidental or isolated amenities. These elements shall be selected in conjunction with the first major development

phase in Sun Peak.

Additional general objectives guiding design decisions include:

- Components shall be functional in form, related in design, simple in fabrication and standardized in appearance.
- A limited vocabulary of materials shall be selected for proven durability and ease of maintenance.
- Elements of similar function shall be clustered in units or groupings.
- Location and placement of furnishings shall logically respond to patterns, types and intensity of usage.
- Components shall be located to optimize public safety and not restrict emergency vehicle access.
- Furnishing design and placement shall not obstruct efficient surface maintenance and cleaning operations.
- Maximum serviceability and co-ordination must be maintained for all utilities.
- Site elements shall allow “barrier free” access by all people including the elderly and handicapped.



L. Signage

All monument and address signs must be reviewed by the SPDRC for approval. If the monument sign is proposed in the Summit County Road Right- of -Way, an encroachment permit will have to be obtained through the Summit County Engineering office.

M. Site Lighting

Lighting in Sun Peak shall provide both illumination and security, but must be **Dark Sky Compliant** and adhere to neighborhood rules and regulations, as well as the Summit County Dark Sky Ordinances. Night lighting shall be considered by the SPDRC in areas that receive heavy pedestrian or vehicular use and in areas that are potentially dangerous when unlit.

Except for street lighting maintained by Governmental Authorities, all outdoor/exterior lighting shall be subject to approval by the SPDRC. No outdoor lighting shall be permitted except for lighting that is designed to aim downward and limit the field of light to the confines of the lot on which it is installed. Flood lighting of private sport courts,

swimming pools or other outdoor spaces is expressly prohibited. Exterior landscape and seasonal lighting must be compliant with the Sun Peak Master HOA Rules and Regulations.

Interior Illumination

Interior illumination refers to the lighting that is used to illuminate the interior of a structure that may be visible from the exterior of the structure through window glazing. Examples of such illumination include, but are not limited to: ceiling can lights, chandeliers, table lamps, and similar. All interior illumination shall be directed to areas within the structure. Unshielded, direct light sources that may be viewed through windows from any angle are prohibited. Shielding of any exposed light source on interior lighting fixtures (whether decorative or functional) or shading of surrounding windows is required.

N. Landscaping

Plant materials perform a variety of extremely important functions. They reinforce and define the forms and spaces, separate and screen pedestrians and automobiles, direct and buffer winds creating desirable micro-climatic conditions, and complement surrounding architecture of the environment. Wildland Urban Interface (WUI) approved plantings are strongly considered.

Plants that pose potential hazards or maintenance problems such as those with messy or poisonous fruit, thorns, or seed pods will not be permitted in areas adjacent to major circulation routes. Certain types of plant materials with thorns or thick, low branching patterns can, however, be used effectively to control pedestrian circulation when necessary. Branches that overhang walks should be pruned to prevent injuries. Homeowners are responsible for the ongoing maintenance of their landscaping to ensure that noxious and invasive weeds are properly managed and do not spread to neighboring properties or common areas.

The placement, choice, maintenance and replacement of plant material in Sun Peak are an important component of the development. The revegetation of disturbed areas and the landscaping of newly developed areas is an integral part to the design process. A strong relationship between the planting and other architectural and natural features of the site is essential to obtain a balanced, unified development.

1. Revegetation

Every property owner and owner shall seek to minimize the impact of construction on the existing landscape. However, some disruption will be inevitable. Correcting the damage done during the construction process requires revegetation. To the greatest extent possible, revegetation shall recreate the earlier character of the site using indigenous shrubs and trees, preferably relocated from areas disturbed by construction if possible. Any plant material designated for preservation shall be protected during construction by ensuring that grade changes are made outside the drip line and by minimizing soil compaction. Species which are native or adaptable to the Wasatch Mountains and Snyderville Basin are listed and described in the Appendix.

2. New Plantings

New plantings shall be located in a way that respects and emulates existing plant patterns and communities. Trees, shrubs and ground covers are usually found in groups of similar species rather than isolated or integrated with a number of other species. New plantings shall follow the patterns characteristic of the site and its environs and blend

smoothly with the existing conditions. As a general rule, coniferous trees shall be placed on the north and east sides of building lots and deciduous trees on the south and west to preserve existing sunlight patterns. A detailed landscape plan showing methods for preserving and including existing vegetation in development designs shall be provided to the SPDRC.

Ornamental plantings shall only occur at entrances, plazas, courtyards and in planters adjacent to buildings to add variety and interest to the pedestrian areas and to emphasize the importance of an area. These landscaped areas serve to soften paved areas and cold architectural spaces and encourage pedestrian use and activity. Landscaped areas shall be planned as an integral part of the project development and not simply located in left over space.

Plant materials shall be chosen that are resistant to salt and other de-icing chemicals (should such chemicals be used) and that can withstand the weight of stored snow. No plant material shall be located in drip lines under building eaves that do not have gutters. Plant materials shall be selected for structure, texture, color, ultimate size, hardiness, wildfire resistance and drought tolerance. Artificial turf will be considered. Detailed plans shall be submitted to the SPDRC for review and approval.

3. Solar Orientation and Views

The design for new plantings shall take into consideration solar aspect and the views of others so that existing patterns of sunlight and view corridors are not obscured. The present and future impact of plantings on adjoining sites shall be carefully assessed. New plantings that interfere with the views or solar access of neighboring properties will not be permitted.

4. Irrigation

Landscaped areas shall be provided with suitable permanent method for watering all plantings. Irrigation systems offer state-of-the-art delivery of water to plantings in the most conserving manner available. Care shall be taken not to excessively irrigate existing plant materials or create overly wet ground conditions that might result in root rot. Proper drainage must be provided.



All watering systems shall consist of drip irrigation systems and an appropriate number of sprinklers and/or other outlets to ensure adequate coverage.

Detailed irrigation plans shall be provided to the SPDRC showing methods of irrigating new ornamental plantings, revegetated areas and existing native vegetation. Care shall be taken to preserve existing vegetation where reasonable to reduce the amount of irrigation necessary.

5. Soil Amendments

All backfill for planting shall be improved. Soil amendments shall be added as necessary to improve the moisture retaining capability of the soil. Nutrients and fertilizer shall be added to new plantings and revegetation efforts in

order to enhance soil quality and ensure plant growth.

In conjunction with proper irrigation measures, programs for controlled fertilization of plant materials shall be undertaken.

6. Maintenance

Homeowners shall maintain a defensible space around their individual property and home for urban fire safety. All landscaping shall be maintained in a neat, clean and healthy condition. This shall include but not be limited to:

- Cultivation of planting beds on a regular basis,
- Scheduled mowing of lawn areas,
- Regular pruning and fertilization,
- Insect, disease, and pest control,
- Leaf removal, and
- Maintenance of irrigation controllers and repair of system components as needed to maintain good working conditions.
- Management and control of noxious weeds.

7. Landscaped Area Requirements

All disturbed site areas not covered by impervious surfaces shall be either landscaped or revegetated. A recommended plant list is set forth in Appendix A.

IV. ARCHITECTURE

A. General Characteristics

One of the objectives of Sun Peak is to provide a residential enclave with associated lodge and office uses within the rural mountain setting that reflects the history, native environment and natural forms of the area. Consequently, architectural designs will be encouraged that are an outgrowth of the best of local historical styles and that utilize a palette of construction materials indigenous to the region. Styles shall reflect the local environment (mountains, streams, trees) and life- style (outdoor activities and recreational pursuits, such as skiing, hiking, biking, fishing, water sports, nature walks). The intent is to create a quality product reflective of a mountain environment rather than of high density, urban slickness.

Architectural styles that are uniquely American are also appropriate for Sun Peak, however; any extremes of design shall be avoided. Styles shall fit the project use and function. The overall desire to create a cohesive community that blends and enhances the natural setting shall be the guiding force behind any design decisions.

B. Specific Structural Considerations

1. Building Scale and Massing.

In keeping with the aesthetic goals of Sun Peak, building scale and massing shall harmonize with the natural environment. Building length shall not exceed 30 feet in one direction without a change in two or more of the following elements: direction, roof alignment, wall offset (2 feet or more) or elevation. Building height shall not exceed two full stories or 32 feet measured from any point of the building to the natural grade below, except as noted on certain lots.

All exterior walls must comply with subdivision offset requirements. For façade length between 30-60ft, no roof ridgeline can exceed 50% of the façade width. When façade length is greater than 60 feet, no roof ridgeline shall exceed 45% of the total length of the façade along which it runs parallel.

2. Exterior Spaces Adjacent to Buildings

Building masses and surfaces shall be planned to allow solar access and minimize interference with natural sun patterns, as well as recognizing existing buildings that surround the area. Designs shall consider:

- Land features, shadows cast from buildings and landscaping;
- Reflectivity of material color and surfaces;
- Large paved areas capable of absorbing the sun's radiation and creating undesirable "hot spots" during the summer;
- Direction of cooling breezes;
- Landscaped and grassy areas reflecting the sun's radiation, capable of moderating climatic effects;
- Snow storage; snow storage shall not be accomplished across the street from cleared property
- With these considerations in mind, designs can enhance exterior play and work areas.

3. Roofs.

a.) Roof Shape and Ridge Alignment

Roof Shape is a predominant element for organizing building massing and relating buildings to their surroundings. Roof shape also becomes an important element to establish or convey a predominant style, but roofs must be considered very carefully to prevent the roofscape from dominating the architecture of the project. Roof designs shall be functional and provide visual order to buildings and building masses. A single roof shape shall dominate building masses to provide harmony. Roof ridge alignments shall enhance the visual impact of the primary structure and other buildings on the site.

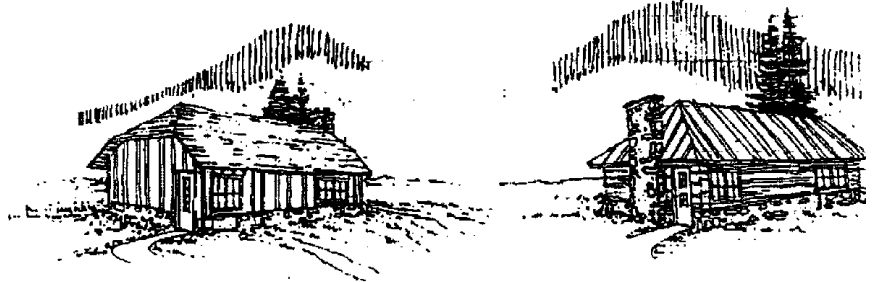
The following roof shapes are encouraged:

- Gable
- Full Hip

Flat and shed roofs are allowed as ancillary or secondary roofs. The extent of flat or shed roofs on any given project shall be established at the discretion of the SPDRC. In no case shall flat or shed roofs exceed 30% of the overall roof planes.

Not permitted are:

- Gambrel;
- Mansard and False Mansard;
- Curvilinear and domed;
- A-Frames; and
- Quonset roofs.

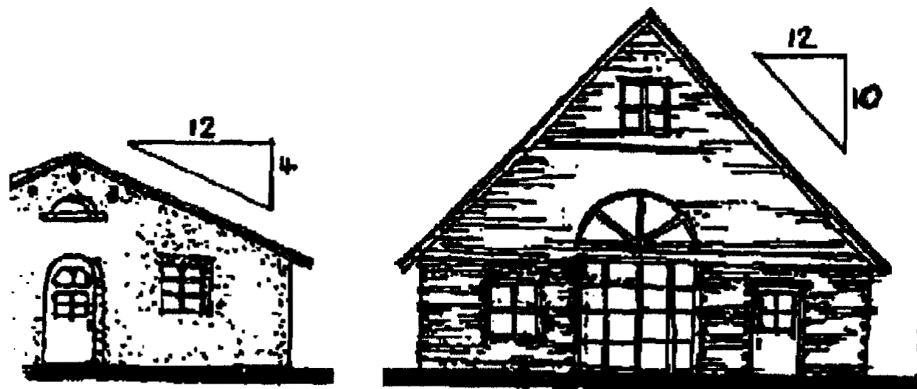


b) Roof Slope

Roof slope is a major force in establishing the roof's shape and subsequent impact.

Slope is also an important functional element in shedding rain, snow and ice.

Slope range considered acceptable for buildings in Sun Peak are between 4/12 and 10/12. Roof slopes less than 4/12 will be considered by the SPDRC up to 30% of the overall roof plane. Roofs shall truncate above the ground and roofs on both sides of a ridge shall be the same slope, but not necessarily the same length. Naturally, building codes must be met regarding the distance from the roof eave to finish grade. Roof overhangs shall be encouraged as extensions to



protect walls, to protect and cover pedestrian traffic below, and to direct snow, water and ice shedding to desired locations. Roofs shall not be designed to shed ice and snow onto adjacent properties, walkways, paved areas, or driveways.

Roof flashings, trim, drip edge, cants, crickets and counter flashings shall be in harmony both in color and material with the roof surfacing and can be aluminum or steel with baked finish or copper. All overhangs must be a minimum of 24 inches measured by the length of the soffit.

c) Roof Surfacing Material

Careful consideration shall be given to selection of roofing materials. Color and textures are major elements in successfully blending buildings to the natural setting. The goal is to select roofing materials that are in harmony with nature and function to combat local weather conditions. Materials to be used are:

- Copper and Zinc, which can be used without additional finish coatings;
- Aluminum or steel, which must be coated in an approved color;
- Slate tiles of an approved color and shape;
- Architectural grade asphalt composition shingles shakes that are 3 ply, 3/8" thick, life-time warranted are required for all neighborhoods with the exception of the Willow Draw Cottages. The Cottages are allowed to have 40 Architectural Grade composite shingles and 3 ply is not required.
- Composite shakes and shingles which resemble cedar (in the judgement of the SPDRC).
- Cor-Ten Steel.

d) Roof Appurtenances

Roof appurtenances shall be integral parts of the architecture of the building. Clerestories, dormers and sky- lights create interest and add interior light, but they shall also integrate with the overall exterior design. Placement of the roof is crucial in creating a pleasant effect.

Dormers generally shall be gable, shed, hip or derivate types. Non-functional roof ornamentation should be avoided.

Snow fences, diverters, gutters, downspouts and similar accessories if used shall be designed within the total roof-scape. Mechanical, electrical and roof access equipment, vents and antenna shall be integrated into the roof or dormer design and not be visible from public view. Ridge vents are acceptable. Skylights, solar collectors, photovoltaic panels and clerestories shall be designed as masses at angles relating to the primary roof, not as applied forms.

Solar Panels and Satellite Dishes will be permitted only with the consent of the SPDRC, and if permitted are subject to the following requirements:

- All solar panels must be a dark color such as black, gray, charcoal to closely match the roof material and appear non-obtrusive.
- The solar panels must consist of non-reflective material.
- Panels shall have minimum spacing between them.
- No panels shall be elevated above the roof plane with angle brackets or similar features all solar panels and

associated hardware must be mounted flush to the roof.

- All piping, wiring, and color devices on the roof plane must be hidden or minimally visible. All conduit and wiring leading from the ground plane to the solar panels must be concealed along an inside corner and or painted to match the structure's siding
- Satellite dishes should be located out of view of the street and with respect to surrounding neighbors is possible.
- Satellite dishes larger than 36" are not allowed.

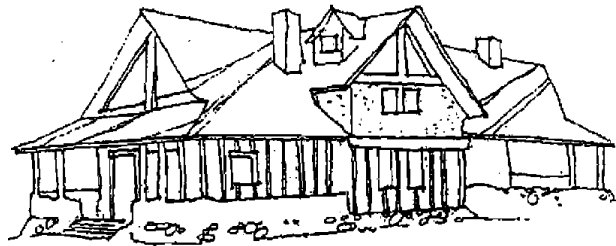
In general chimneys of masonry, stucco and siding are encouraged. Chimney materials shall be similar to major exterior finish materials used on the home. Back draft and spark arrestors shall be considered in chimney designs. Exposed flues and vents for gas-operated fireplaces or other equipment such as furnaces should be hidden from primary view and painted to blend with the nearest building material or enclosed. All flues six inches in diameter or greater shall be enclosed with chimneys.

4. Wall Surfaces

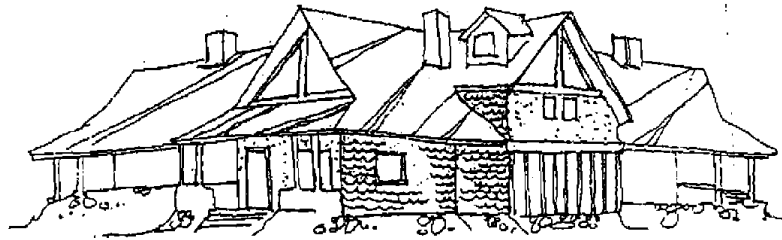
a) Lower Surfaces

Lower wall surfaces shall be built of or finished with a hard surface durable material for wall protection from climatic conditions and to provide an aesthetic base to the architecture. The following materials are required, as approved by the SPDRC:

- Stucco, plaster and stucco-like materials;
- Natural stone masonry. Natural stone is required if a stone material is used.
- Board Formed Concrete as a secondary material
- Brick used in specific situations that are approved by the SPDRC.
- Natural wood siding
- Non-reflective Steel Panels



ACCEPTABLE



UNACCEPTABLE

Any exposed concrete greater than 12" in height other than board formed must be finished with stucco or plaster. If available in sufficient quality and quantity, use of local stone shall be given priority.

b) Upper Surfaces

The following materials are required, as approved by the SPDRC:

- Natural wood siding
- Wood shingles
- Stucco finishes
- Composite siding materials provided adequate protection from moisture saturation

- Natural stone masonry
- COR-Ten steel; or non-reflective steel panels

Walls shall be limited to a maximum of three different materials from the above list. For walls >30ft, a minimum of two materials from the above list is required. All materials will be subject to review for compatibility and approval by the SPDRC.

c) Color Palette

In general, high-keyed, warm earth toned colors are encouraged for large field applications, use of low-keyed dark colors shall be reserved for trim, accents, and applied features. Exterior walls and window color shall match the medium color and values of the immediate natural landscape. The color of exterior materials, whether applied or innate, shall reflect the appearance of the natural surroundings and not seem synthetic or manmade. Accent colors shall integrate with the overall color scheme and form of the building. Accent colors on wall surfaces can enliven or detract from the building and discrete use of such colors is encouraged. No bright colors will be allowed. All exterior colors and materials must be approved by the SPDRC.

5. Wall Openings

Openings in walls (doors and windows) shall reinforce and strengthen the appearance of the wall and be integral with the function of the building. No greater than 60% of any given exterior building face or plane shall contain any type of wall opening.

The exterior finishes of windows and doors shall be of wood, vinyl or anodized aluminum finish. All new windows must match existing windows.

6. Garage Doors and Front Facades

A two-car minimum garage is required and up to a four-car maximum is permitted unless otherwise approved by the SPDRC. No more than three door openings shall face the front/street right of way. Garage door materials shall include wood, metal, glass, steel and fiberglass, as approved by the SPDRC. No materials shall be reflective. No white garage doors or white glass garage doors will be considered.

Garage door colors should be installed to blend with trim colors and other finishes of the home. Accent colors may be considered by the SPDRC. Garage doors shall not dominate the front view of the home and shall not exceed 10' in height.

7. Wall Appurtenances

Wall decorations, shutters, bay windows, flower boxes, balconies and other wall appurtenances shall be simple, functional and well-integrated with the total design.

8. Square Footage Allowed

The square footages allowed for most properties in Sun Peak are called out in the Supplemental CC&Rs. In some subdivisions the underground square footages are excluded or partially excluded from the living space square footage allowed for a home. If this is the case, the calculation for the basement wall surface area below grade is obtained by multiplying the length of each basement wall by the height of the wall to get the total square footage

for the surface area of the basement. In Mahogany Hills, 80% of all exterior basement wall surface area must be below final grade in order for it to be excluded from the square footage calculations. In Cedar Draw and Cedar Draw Estates, the portion of the basement or walkout basement exterior walls above ground equate to that portion of the overall basement floor square footage which will be counted as floor area. However, 20% of exterior basement wall exposure is allowed before this rule applies, (i.e. with 20% or less exposed – no basement square footage counts as floor area; with 21% exposed – 21% of basement counts as floor area; with 50% exposed – 50% of basement counts as floor space; etc.).

- Everything other than mechanical spaces count towards square footage.
- Square footage is calculated to the exterior face of exterior walls

9. Decks

Approved decking materials are natural and composite wood. The underside of any deck visible from the street or any adjacent property must either be finished with vertical lattice, soffit, or painted or stained to match the house. Approved railing materials include wood, metal, glass or natural stone. No soffit is required when exposed rafters are used?

10. Other

Special Supplement for the Willow Draw Cottage homes.

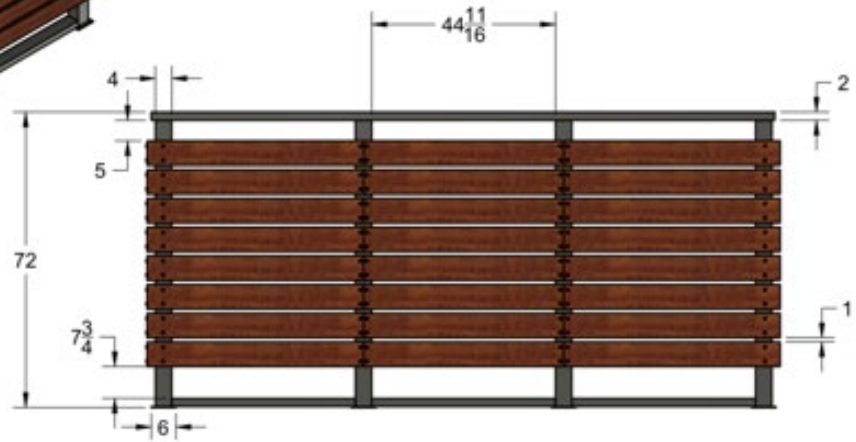
Privacy Screen: The SPDRC worked closely with Summit County to develop a concept that would provide for screening of various items such as yard equipment, ladders, garbage cans, recycling containers, etc. The Design must meet the following design criteria and final approval must be obtained from the SPDRC.

1. Structure will not be wider than 48" and will not exceed 72" in height.
2. Structure must be attached to the house and consist of material colors that complement the home.
3. Structure may be covered.
4. Vertical or horizontal wood slats are preferred, as detailed in the drawing.

The 48" width will be considered in other neighborhoods if setback requirements can be met.



4x2 Top & Bottom Rail
4x4 Post



V. REVIEW AND APPROVAL PROCESS

A. Single Family Residence

Outlined below are the steps in the process to obtain Single Family Residence design review and approval for Sun Peak. CC&Rs, Design Review Guidelines, documents, checklists and forms are located on the Sunpeak.org web- site for review and submittal.

- Obtain copies of Guidelines and Restrictive Covenants.
- Obtain a copy of the topography and boundary of lot. Use these documents in preparing initial concepts.
- Prepare and review initial concept sketches with SPDRC. An electronic file should be provided.
- Incorporate review comments in preparation of schematic drawings.
- Review schematic drawings with SPDRC. Provide the appropriate design review fee to the SPDRC
- Prepare and review final construction drawings including landscape plan, materials and color table, checklist, and a color board with the SPDRC.
- Obtain final approval from SPDRC.
- Submit final construction drawings to Summit County Building Department for plan review.
- Obtain a building permit from Summit County after SPDRC review and approval. Provide the appropriate construction deposit and necessary insurance requirements to the Sun Peak HOA.
- Limits of Disturbance fence must be installed prior to construction. If the lot is adjacent to Sun Peak Open Space, fencing must be placed around the open space to prevent any disturbance.

The Sun Peak Design Review Committee shall be appointed by the Sun Peak Master Association Board. The SPDRC will meet once monthly or as otherwise determined to review development proposals and plans in order to ensure at an early stage in the project design development that all proposals are in substantial compliance with requirements set forth by the Sun Peak Architectural Design Guidelines and Supplemental CC&Rs.

Project approval expires 12 months after approval date. Project must be completed prior to approval expiration. If project approval expires, homeowner is responsible for submitting repeat application to the DRC and must wait for reapproval before commencing or continuing project work. For new builds or large remodels, project approval and completion window will be 24 months. Expiration term will be noted on the DRC approval.

Submittal packages shall contain the following documentation:

- Location map
- Existing conditions map at a scale of 1" = 50' including survey location of evergreens and large deciduous trees, rock formations, drainages.
- Siteplan with utility locations at a minimum scale of 1" = 20'
- Grading plan with 2-foot contour intervals at a scale of 1" = 20' showing limits of disturbance and erosion control.
- Landscape plan at a scale of 1" = 20'
- Architectural plans including:

- Floor plans, Elevations and Structural designs
- Colors and Materials,
- Cross-section drawings (2)

B. Construction Practices To Be Followed:

- B.1 OSHA Compliance. Owners and Contractors are solely responsible for compliance with all applicable Occupational Safety and Health Act regulations.
- B.2 Construction Site Plan. A construction site plan must be prepared and approved by the SPDRC that shows construction access, street parking and sanitary facilities. The staging area, all construction materials, and trash disposal bins shall be located in as compact an area as possible close to the approved building site, wherever they are the least visible. Construction parking must occur on one side of the road only and occur only during Summit County permitted times. No overnight parking is permitted at any time. No construction vehicles may park on roads outside the areas specific in the construction site plan. No Street Parking is allowed on Summit County public roads from November 15-May 1st, per Summit County Ordinance #346.
- B.3 Trash Receptacles and Debris Removal. At the end of each day, all trash and debris shall be cleaned up and deposited in an approved trash container. Trash containers must be emptied on a timely basis to reduce overflow of refuse. During Construction, the site must be kept neat and shall be properly managed to assure it does not become an eyesore or nuisance. Dirt from the site must be promptly removed from roads. Construction dumpsters require SPDRC approval. No stockpiling of debris is permitted outside of these containers and there will be no storage of containers in roadways or shoulders at any time. Dumpsters are to be emptied regularly or as needed and must be removed when construction is completed or halted for more than fifteen (15) days.
- B.4 Contractors are responsible for controlling noise from the construction site. No Jake Brakes are allowed in Sun Peak and are subject to the Summit County Noise Ordinance. The general contractor is responsible for providing and regularly servicing temporary, enclosed chemical toilets at the construction site, preferably screened from view and located away from neighbors. Such facilities must be removed when construction is completed, or construction is halted for more than fifteen (15) days.
- B.5 Summit Count Storm Water and Erosion Control Ordinance #519 must be strictly adhered to.
- B.6 Daily Operation. Daily working hours for each construction site shall be no earlier than 7:00 AM and no later than 7:00 PM, Monday through Saturday. Hours of construction for Sunday shall be no earlier 9:00 AM and no later than 5:00 PM.
- B.7 Construction Insurance Requirements. Insurance shall be evidenced in the form of a valid Certificate of Insurance (COI) listing the Sun Peak Master Homeowner's Association and the Sun Peak Design Review Committee as additional insured. The insurance must provide coverage not less than the applicable limits of coverage related to the comprehensive general liability and workmen's compensation. The minimum limits shall not be less than \$1,000,000 each for general liability. General liability coverage shall contain provisions for contractual liability and broad form property damage. The COI shall provide for 30-day notice to the certificate holders in the event of cancellation or material change in the limits of coverage.

C. Variances

Based upon investigation and research by the property owner and/or his consultant, the SPDRC will entertain variances to the stipulations contained in these guidelines. All requests for variances must be accompanied by documentation and details of proposed designs. All variances must be approved in writing.

D. Amendments

Amendments to this document will be considered by the Board of Trustees for the Master Association and will become part of this document following review and approval by seventy- five percent of the Board of Trustees for the Master Association and in accordance with the Associations governing documents and applicable Utah law. All requests for Amendments to this document must be submitted in writing to the SPDRC and shall be accompanied by any necessary documentation.

APPENDIX A

A. Recommended Plant List

Trees, both evergreen and deciduous, are generally the most difficult plants to grow in the Sun Peak area. The combination of winter sun, exposure to winter winds, cold temperatures, extreme fluctuations in daytime high to nighttime low temperatures, and short growing season combine to create a challenging environment for trees. When selecting trees, consider the species which grow naturally on sites with similar slope aspect, soils and moisture conditions. As with any plant, select the right location, picking the plant for the right place instead of vice-versa and considering the size of the plant at maturity. Also, consider the maintenance requirements of plants when selecting and spacing materials. Fire-wise plants should be strongly considered.

Deciduous Trees	Evergreen Trees	Shrubs
Acer campestre	Abies concolor	Amelanchier alnifolia
Hedge maple	White fir	Saskatoo serviceberry
Acer ginnala	Picea engelmannii	Artemesia tridentate
Amur maple	Engelmann spruce	Sagebrush
Acer glabrum	Picea pungens	Cercocarpus ledifolius
Rocky Mountain maple	Colorado green spruce	Mountain Mahogany
Acer gradidentajum	Picea pungens glauca	Cercocarpus montanus
Bigtooth maple	Colorado blue spruce	Red osier dogwood
Alnus sp.		Cornus stolonifera
Alder	Ground Cover	Yellow twig dogwood
Betula nigra	Aegopodium sp.	Cornus stolonifera flaveramea
River birch	Bishops weed	Winged euonymus (dwarf)
Malus sp.	Antennaria rosea	Euonymus alatus (compacta)
Crabapple	Pink pussy toes	Junipers
Populus tremuloides	Arctostaphylos uva ursi	Juniperus sp.
Quaking aspen	Kinnickinnick	Compact Oregon grape
Prunus Maackii	Arrenisia fridgida	Mahonia aquifolium (compacta)
Amur chokecherry	Fringed sagebrush	Mountain lover
Prunus virginiana	Asperula odorata	Pachistima myriritis
Chokecherry	Sweet woodruff	Swiss mountain pine
Quercus Gambellii	Fragaria vesca	Pinus mugo (mughus)
Gambel Oak	Wild strawberry	Dwarf mugo pine
Salix ridgida	Lysimachia nummularia	Potentilla sp.
Yellow willow	Creeping jenny	Shrubby cinquefoil
Salix umbraculifer	Sedum sp.	Purshia tridentate
Globe willow	Mahonia repens	Antelope bitterbrush
	Creeping Oregon grape	Rhus glabra
		Smooth sumac
		Rhus triloba
		Squawbush
		Rhus typhina
		Staghorn sumac

